

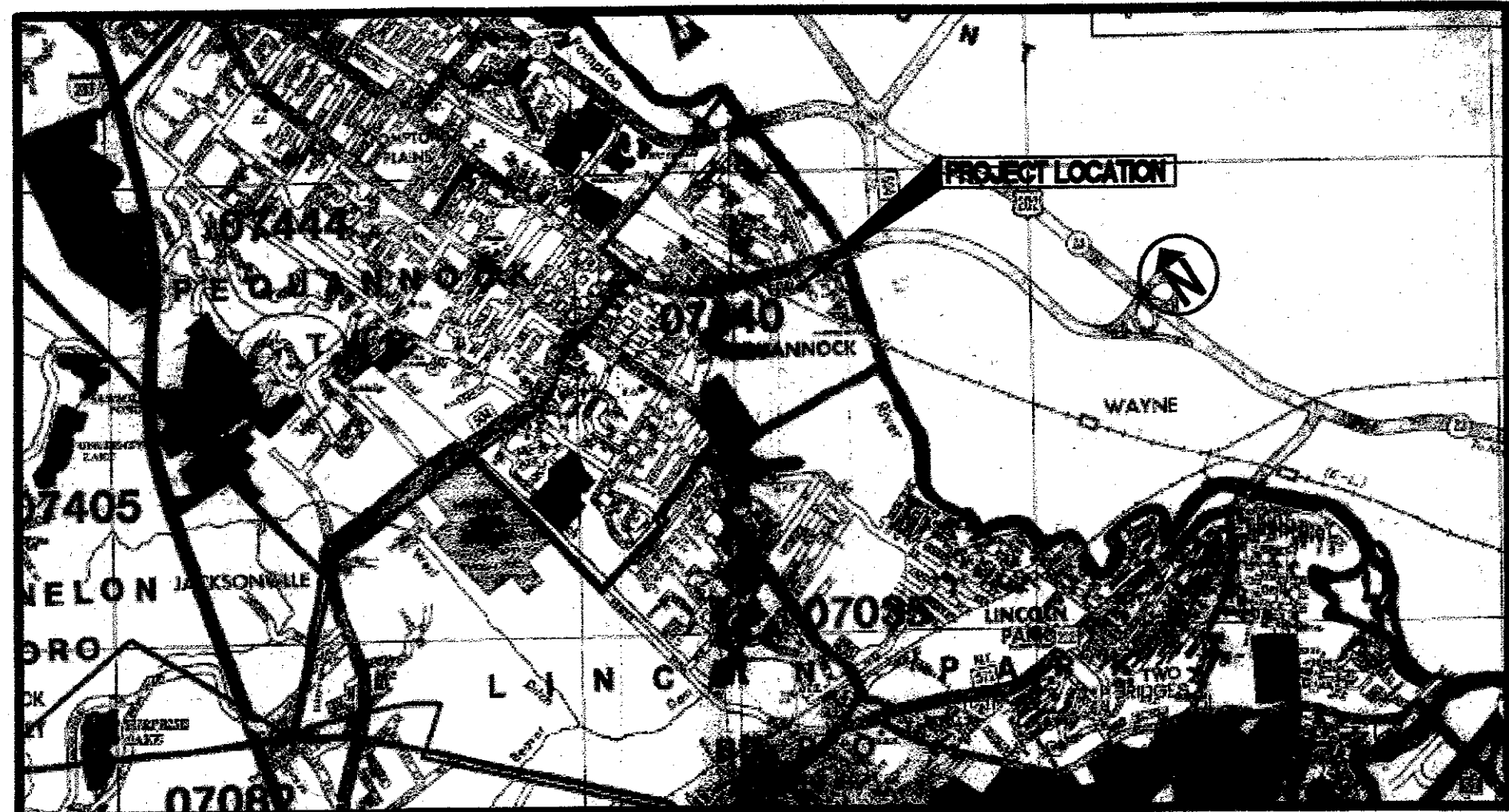
2	01.02.07	DD	REV. PER ZONING BOARD RES.	
1	10.02.06	DD	REV. PER PLANNING DEPT. COMMENTS	
No.	DATE	BY	Description	

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Location Map



Scale: 1"=2,600'±

PRELIMINARY & FINAL SITE PLAN BLOCK 4402, LOT 8 TOWNSHIP OF PEQUANNOCK, MORRIS COUNTY, NEW JERSEY

Owner Information

S & J Enterprises
8 Industrial Road
Pequannock, NJ 07440

The Undersigned Certifies That He Is The Owner
By Title Of Record Of Block 366, Lot 13 In
Pequannock Township, New Jersey.

Property Owner

Applicant Information

Jarra NJ LLC
52 Denise Drive
Kinnelon, NJ 07405

Applicant

Endorsements

APPROVED BY THE TOWNSHIP OF PEQUANNOCK ZONING BOARD.

CHAIRMAN

DATE

SECRETARY

DATE

2	01.02.07	DD	REV. PER ZONING BOARD RES.		
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REVISIONS			
DRAWN BY	SLP		
APPROVED BY	DVD		
CHECKED BY	DVD		
DATE	08.07.06		

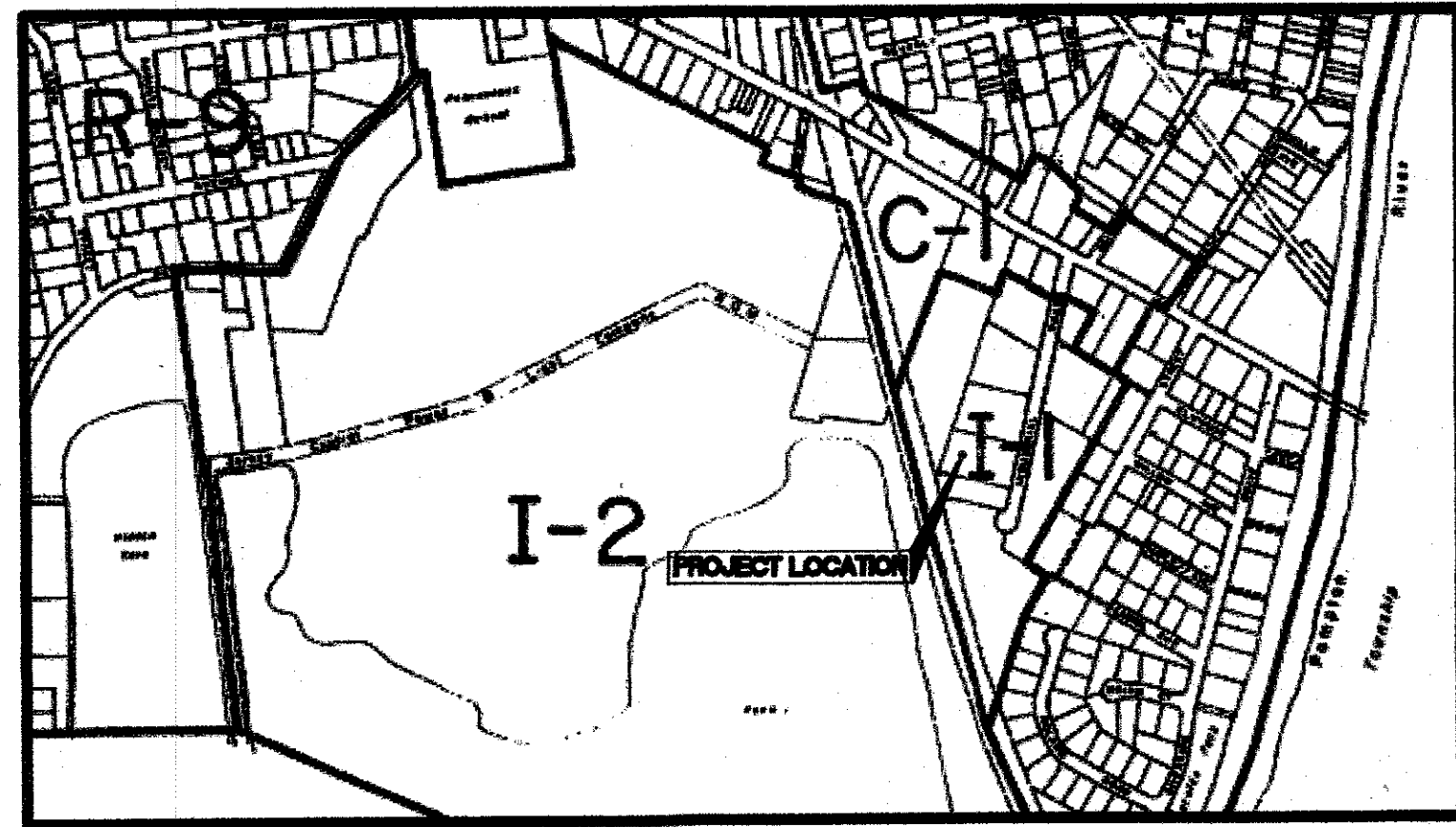
TITLE
GENERAL
INFORMATION
AND ZONING
DATA

PROJECT NO. 4558

G-002

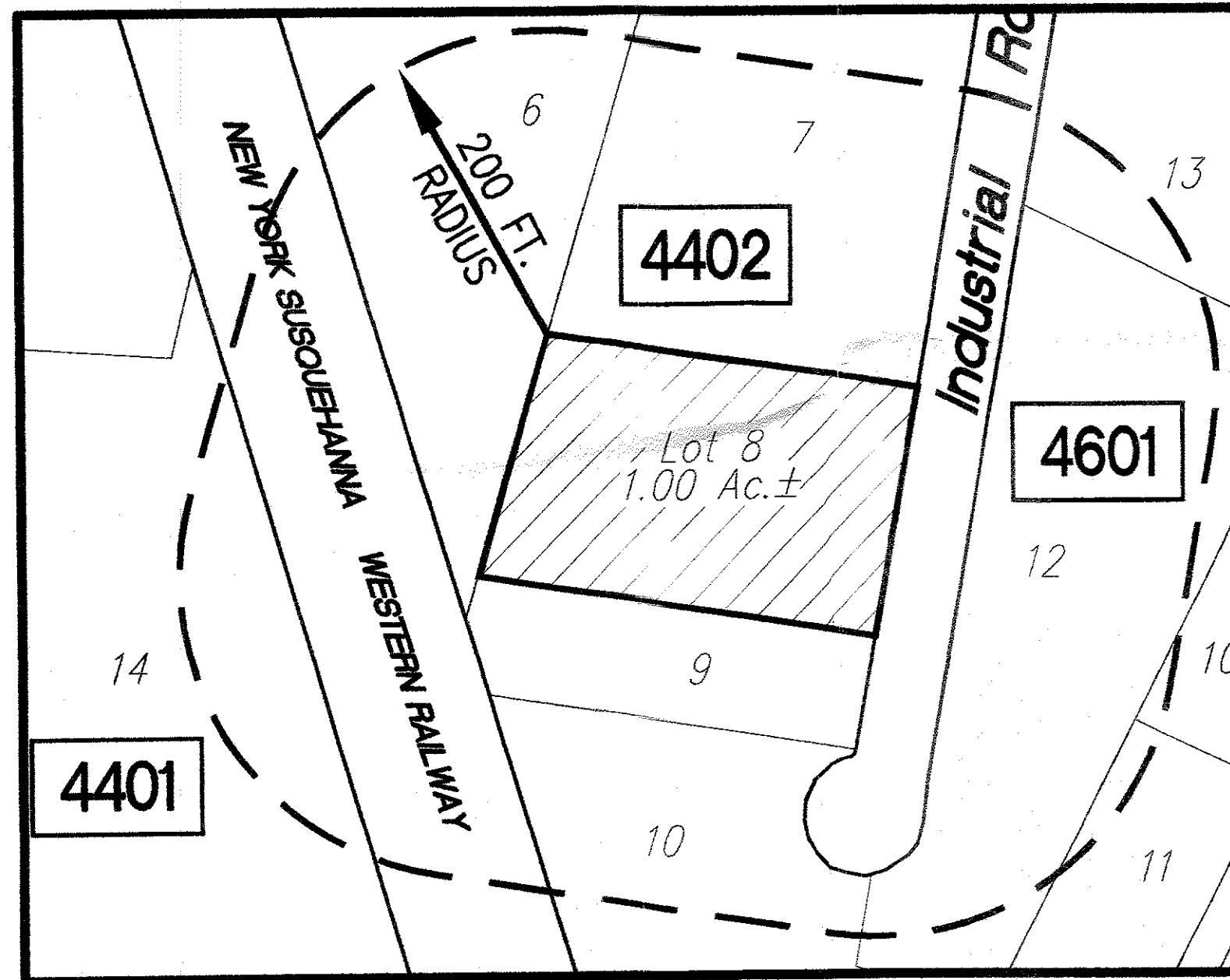
SHEET NO.

Zoning Map



Scale: 1"=650'±

Tax Map/200' Radius Map



Scale: 1"=100'±

200' Property Owner's List

BLOCK/LOT	OWNER	OWNER ADDRESS
4402/6	K&G CORPORATION	6 INDUSTRIAL ROAD PEQUANNOCK, NJ 07440
4402/7	K&G CORPORATION	6 INDUSTRIAL ROAD PEQUANNOCK, NJ 07440
4402/9	OXBOW ENTERPRISES LLC	12 INDUSTRIAL ROAD PEQUANNOCK, NJ 07440
4402/10	ROMONT CORP	14 INDUSTRIAL ROAD PEQUANNOCK, NJ 07440
4401/14	PEQUANNOCK PROPERTIES LP	1275 BLOOMFIELD AVE FAIRFIELD, NJ 07004
4601/12	K&G CORPORATION	6 INDUSTRIAL ROAD PEQUANNOCK, NJ 07440
4601/13	ROBERT DE GEORGES, SR	76 HOPPER AVE POMPTON PLAINS, NJ 07444
4601/11	PEQUANNOCK TOWNSHIP	530 TURNPIKE POMPTON PLAINS, NJ 07444
4601/10	MICHAEL & OLGA SHINDELMAN	18 BEECH STREET PEQUANNOCK, NJ 07440

Waivers Requested

6. Surface Water Management Plan.
7. Soil Erosion And Sediment Control Plan.
8. Environmental Impact Study.
11. Proof Of Submission Of Complete Application To Morris County Soil Conservation District.
- N. Design For Method Of Soil Erosion And Sediment Control And Location Of Same.
- Q. The Location Of All Subsurface Structures. Location Of Existing Structures Such As Water And Sewer Mains, Utility Structures, Gas Transmission Lines And High Tension Power Lines On The Tract And Within Two Hundred (200) Feet Of Its Boundaries.

Zoning Information

- Proposed Use
- * Office- 3,786 SF - Permitted Use
 - * Warehouse- 4,764 SF - Permitted Use
 - * Storage Building- 1,500 SF - Permitted Conditional Use
 - * Outside Commercial Vehicle Storage- Non-Permitted Use (VARIANCE REQUESTED)

Bulk Requirements for I-1: 1 Acre Industrial District

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM DIMENSIONS			
LOT AREA	1 ACRE	1.00 ACRE	NO CHANGE
LOT WIDTH	150 FEET	166.65 FEET	NO CHANGE
LOT FRONTAGE	50 FEET	166.65 FEET	NO CHANGE
SETBACKS			
MINIMUM FRONT YARD	50 FEET	50.7 FEET	NO CHANGE
MINIMUM REAR YARD	30 FEET	CELL SITE 20 FEET BUILDING 38.7 FEET	EXISTING NON-CONFORMING, NO CHANGE
MINIMUM SIDE YARD	30 FEET	3.3 FEET	EXISTING NON-CONFORMING, NO CHANGE
MAXIMUM BUILDING HEIGHT	2 STORIES (35 FEET)	1 STORY (17 FEET)	NO CHANGE
MAXIMUM BUILDING COVERAGE	35%	24.8%	NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	75%	63.5%	64.4

Parking Requirements

- A. Subsection 189.09.05- Off Street Parking Requirement
- Office: 4.5 Spaces/1000 GFA * 3,786 Sf = 18 Spaces
- Warehouse & Storage: 1 Space/5000 GFA *6,264 SF = 20 Spaces
- 20 Spaces Required
- 18 Spaces Provided* (VARIANCE REQUIRED)
- * Does not include one designated parking space for cell site technician.

- B. Subsection 189.09.02c- Sidewalks And Curbs
- Sidewalks With A Minimum Width Of Four (4) Feet Shall Be Provided In All Parking Area For Four (4) Or More Vehicles Between Parking Areas And Principle Structures. Sidewalk Must Be Raised Six (6) Inches Above The Adjacent Paved Area, Except Where Crossing Streets Or Driveways, And Shall Be Curbed As A Protection To Pedestrian Using The Walks. Sidewalks And Parking Areas Must Be Arranged To Prevent Cars From Overhanging Or Extending Over The Required Four Foot Sidewalk Area. Use Of Wheel Bumpers Is Prohibited. (VARIANCE REQUIRED)

- C. Subsection 189.09.040- Off Street Loading
- Loading Space Size 10'x35' (Provided)
- Loading Space Required=1 Per 12,000 GFA (Provided)

- D. Subsection 189.09.020 B5a- Aisle Width
- Aisle From Which Cars Directly Enter Or Leave Parking Spaces Shall Not Be Less Than Twenty-four (24) Feet Wide Perpendicular Parking Or Two-way Aisles. (VARIANCE REQUIRED)

- E. Subsection 189.09.020 D.96
- The frontage along the entire parking or loading area adjacent to any public or private street shall be provided with an eight (8) foot wide landscaped area planted with shade or ornamental trees and a hedge or wall so as to separate and screen any parking area from the adjacent street. (VARIANCE REQUIRED)

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1 2 3 4 5

Vehicular Inventory

VEHICLES/EQUIPMENT TYPICALLY RETURNED TO YARD DAILY

QUANTITY	EQUIPMENT	STORAGE LOCATION
1	16 CY DUMP TRUCK	OUTSIDE
2	10 CY DUMP TRUCK	OUTSIDE
3	3 CY DUMP TRUCK	OUTSIDE
2	TRAILER 2070N	OUTSIDE
2	TRAILER LANDSCAPE	OUTSIDE
1	FORKLIFT	INSIDE
1	ASPHALT ROLLER	INSIDE
2	P/U TRUCK	INSIDE

VEHICLES/EQUIPMENT TYPICALLY ON JOB SITES

QUANTITY	EQUIPMENT	STORAGE LOCATION
2	FARM TRACTOR	INSIDE
2	BACKHOE	OUTSIDE
2	EXCAVATOR	OUTSIDE
1	LOADER	OUTSIDE
3	DOZER	OUTSIDE
2	STORAGE CONTAINER	OUTSIDE
2	ROLLER	OUTSIDE
5	EQUIPMENT ATTACHMENTS	INSIDE
1	PORTABLE SCREEN	OUTSIDE

Cut/Fill Table

	CUT (c.y.)	FILL (c.y.)
FORKLIFT RAMP	47.7	
NEW LOADING RAMP		30.5
ADA RAMP		9.0
TOTAL NET FILL = -8.2 c.y.		



Dewberry-Goodkind, Inc.
600 PARSIPPANY ROAD
3RD FLOOR
PARSIPPANY, NJ 07054
PHONE: 973.739.8400
FAX: 973.739.9710

Certificate of Authorization #24GA28047600

PRELIMINARY & FINAL SITE PLAN

SITE
IMPROVEMENTS

BLOCK 4402, LOT 8
Township of Pequannock
Morris County, New Jersey

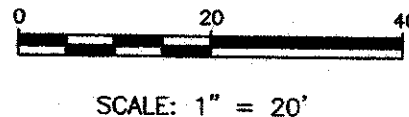
SEAL

Daniel V. Doherty, P.E.
New Jersey License No. 37070

KEY PLAN

SCALE

GRAPHIC SCALE



No.	DATE	BY	Description
3	01.02.07	DD	REV. PER ZONING BOARD RES.
2	10.13.06	DD	REV. PER PB PLANNER
1	10.02.06	DD	REV. PER PLANNING DEPT. COMMENTS

REVISIONS

DRAWN BY	SLP
APPROVED BY	DVD
CHECKED BY	DVD
DATE	08.07.06

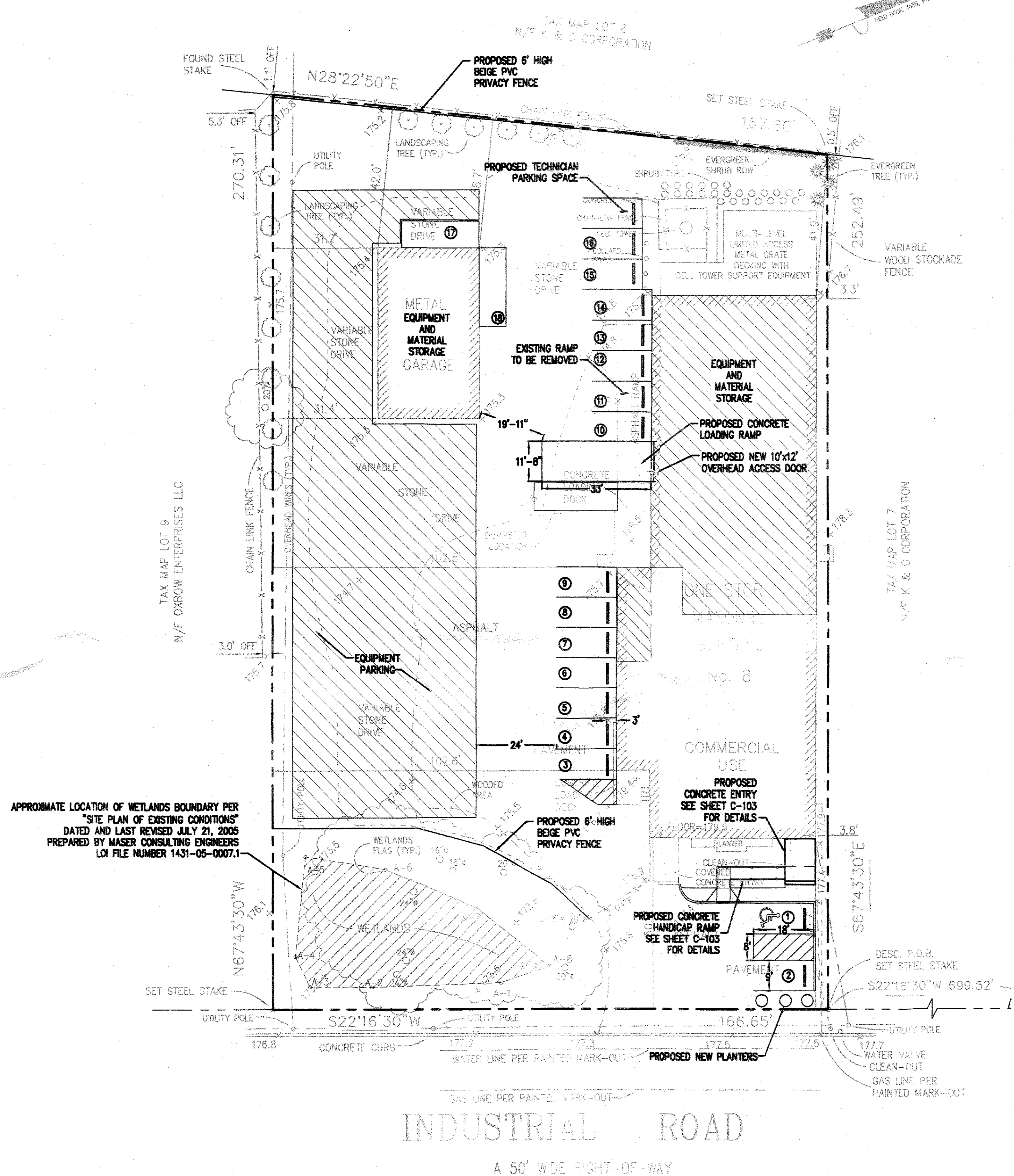
TITLE

SITE
PLAN

PROJECT NO. 4558

C-101

SHEET NO.



Legend

- NEW CONCRETE CURB
- NEW DEPRESSED CURB
- SIGN, TYPE AS NOTED
- PARKING SPACE NUMBER
- HANDICAP RAMP

General Site Plan Notes:

- ALL DIMENSIONS IN PARKING LOTS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- HANDICAP PARKING STALLS, CURB RAMPS, SIDEWALKS, AND SIGNAGE SHALL CONFORM TO CURRENT ADA AND NEW JERSEY BARRIER FREE REGULATIONS.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION WITH REGARD TO SIZE, LEGEND AND MOUNTING HEIGHT.
- THIS PLAN IS BASED ON A TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY ZIMMERLY & ASSOCIATES LAND SURVEY FOR LOT 8, BLOCK 4402 DATED JULY 25, 2006.
- BASED ON THE TOWNSHIP OF PEQUANNOCK FLOOD INSURANCE RATE MAP, THE ENTIRE PROPERTY IS LOCATED WITHIN THE FLOOD PLAIN OF THE PASSAIC RIVER. BASED ON THE NEW JERSEY DEPT. OF ENVIRONMENT MAPPING, THE FLOOD HAZARD DESIGN ELEVATION IS 181.5 AMSL.

PLANTING NOTES

SPECIFICATIONS TO BE USED ARE THE 2001 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS AMENDED, ADDED TO HEREIN.

ALL PLANTING PROCEDURES SHALL CONFORM TO N.J.D.O.T. SPECIFICATIONS.

CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON THE SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, CONTRACTOR IS SHALL BE REQUIRED TO PROVIDE SOIL AMMENDMENTS AS NECESSARY, THESE AMMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO FERTILIZERS, LIME, AND TOPSOIL.

ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PRUNED TO REMOVE DEAD OR DYING BRANCHES. SHRUBS AND TREES SHALL BE PRUNED IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES FOR THE SPECIE OF PLANT BEING PRUNED.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATING FOR PLANTING WORK. CONTRACTOR MUST REQUEST FIELD LOCATIONS FROM THE VARIOUS UTILITY COMPANIES PRIOR TO BEGINNING THE WORK.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, INCLUDING LOCAL ORDINANCES GOVERNING THE WORK.

FINAL LOCATIONS FOR PLANTS SHALL BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT AFTER STAKE OUT BY THE CONTRACTOR.

THIS LANDSCAPE PLAN DOES NOT CONTAIN OR IMPLY ANY PROVISIONS FOR CONTRACTORS, LABORERS, OR TRANSIENTS' SAFETY OR SECURITY, WHICH IS THE SOLE RESPONSIBILITY OF CONTRACTORS, OWNERS AND OPERATORS.

PROVIDE AMENDED TOPSOIL BACK FILL FOR ALL NEWLY PLANTED MATERIAL. TOPSOIL FOR BACK FILL SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS: ORGANIC MATTER CONTENT - MIN. 5% PH RANGE - 5.0 TO 6.5 CLASSIFICATION - SANDY LOAM OR LOAM AGGREGATE - FREE OF STONES 1/2" OR GREATER

BACK FILL MIXTURE FOR DECIDUOUS TREES AND SHRUBS SHALL BE AMENDED AS FOLLOWS: 2 PARTS NATIVE SOIL/APPROVED TOPSOIL TO 1 PART ROTTED LEAF COMPOST OR PEAT MOSS, THOROUGHLY MIXED.

BACK FILL MIXTURE FOR EVERGREEN TREES AND SHRUBS SHALL BE AMENDED AS FOLLOWS: 2 PARTS NATIVE SOIL/APPROVED TOPSOIL TO 1 PART ROTTED LEAF COMPOST OR PEAT MOSS, THOROUGHLY MIXED.

BACK FILL MIXTURE FOR ORNAMENTAL GRASSES SHALL BE AMENDED AS FOLLOWS: 2 PARTS NATIVE SOIL/APPROVED TOPSOIL TO 1 PART MIX OF SAND & ROTTED LEAF COMPOST OR PEAT MOSS, THOROUGHLY MIXED.

COMMERCIAL FERTILIZER SHALL BE ADDED TO THE BACK FILL MIXTURE IN COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. COMMERCIAL FERTILIZER FOR ALL TREES AND SHRUBS SHALL BE HIGH PHOSPHOROUS FERTILIZER WITH AN EQUIVALENT RATING OF 5 - 10 - 5 (NITROGEN, PHOSPHOROUS AND POTASSIUM).

FOR EVERGREEN TREES AND SHRUBS, TOPDRESS WITH A HIGH NITROGEN GRANULAR FERTILIZER SUCH AS HOLLYTONE, OR APPROVED EQUAL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. FOR DECIDUOUS TREES AND SHRUBS, TOPDRESS WITH A HIGH PHOSPHOROUS GRANULAR FERTILIZER, SUCH AS 5 - 10 - 5, COMPLETE GARDEN FERTILIZER, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED IN DURING BACK FILLING AND AFTER PLANTING/MULCHING HAS BEEN COMPLETED.

PLANT BEDS, HEDGES, GROUPINGS, ETC. SHALL BE UNIFORMLY MULCHED OVER THE ENTIRE BED AREA WITH 3" THICK DOUBLE SHREDDED OAK BARK MULCH, BLACK IN COLOR. PALLETTE MULCH OR OTHER SHREDDED WOOD MULCH IS NOT ACCEPTABLE. PRIOR TO INSTALLATION OF MULCH, SUBMIT A SAMPLE TO THE LANDSCAPE ARCHITECT ALONG WITH SOURCE AND LOCATION OF ORIGIN AND PHONE NUMBER OF THE SUPPLIER. NO MULCH SHALL BE INSTALLED WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.

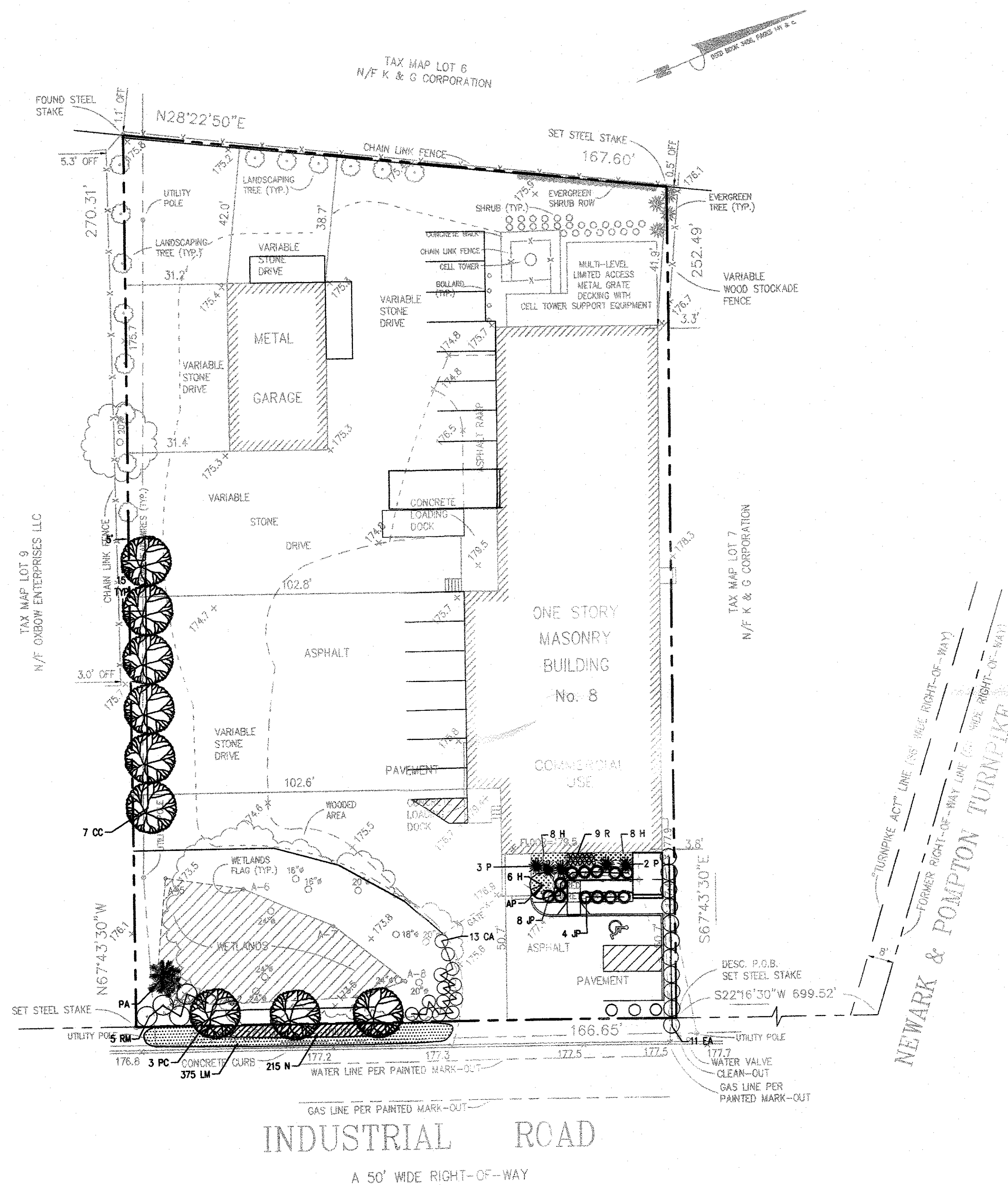
ALL BED LINES SHALL BE SMOOTHLY AND UNIFORMLY DEFINAED WITH A GARDEN SPADE.

ALL PLANT MATERIAL SHALL BE HIGH QUALITY, SPECIMEN GRADE MATERIAL, IN VIGOROUS HEALTHY CONDITION. REFERENCED STANDARD FOR PLANT MATERIAL SHALL BE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICA ASSOCIATION OF NURSERYMEN, WASHINGTON, D.C.

NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.

PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD. THE CONTRACTOR SHALL STAKE ALL MATERIAL LOCATED ON THE SITE FOR REVIEW AND/OR ADJUSTMENT BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ALL LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION.

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PLANT LIST					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.
SHADE TREES:					
CC	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2"-2 1/2" CAL.	B&B	7
PC	PYRUS CALLERYANA 'BRADFORD'	'BRADFORD' CALLERY PEAR	2 1/2"-3" CAL.	B&B	3
ORNAMENTAL TREES:					
AP	ACER PALMATUM DISSECTUM	RED LACELEAF MAPLE	5'-6' HT.	B&B	1
EVERGREEN TREES:					
PA	PICEA ABIES	NORWAY SPRUCE	7'-8' HT.	B&B	1
DECIDUOUS SHRUBS					
CA	CORNUS ALBA 'SIBIRICA'	RED TWIG DOGWOOD	24"-30" HT.	B&B	13
EA	EUONYMOUS ALATUS COMPACTUS	DWARF WINGED EUONYMOUS	24"-30" HT.	B&B	12
EVERGREEN SHRUBS					
JP	JUNIPERUS PROCUMBENS 'NANA'	JAPANESE GARDEN JUNIPER	15"-18" HT.	2 GALLON	12
RM	RHODODENDRON MAXIMUM	ROSEBAY NATIVE RHODODENDRON	30"-36" HT.	B&B	5
ORNAMENTAL GRASSES:					
P	PENNISETUM SETACEUM 'RUBRUM'	PURPLE LEAVED FOUNTAIN GRASS	3' O.C.	2 GALLON	5
GROUNDCOVERS:					
LM	LIRIOPE MUSCARI 'BIG BLUE'	'BIG BLUE' LILY TURF	12" O.C.	FLATS	375
PERENNIALS:					
H	HEMEROCALLIS 'STELLA DE ORO'	'STELLA DE ORO' DAYLILY	18" O.C.	1 GALLON	26
N	NARCISSUS 'KING ALFRED'	'KING ALFRED' DAFFODIL	12" O.C.	BULB 12/+	215
R	RUDBECKIA FULGIDA	BLACK-EYE SUSAN	24" O.C.	1 GALLON	9

PRELIMINARY & FINAL SITE PLAN

SITE IMPROVEMENTS

BLOCK 4402, LOT 8
Township of Pequannock
Morris County, New Jersey

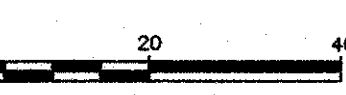
SEAL

Daniel V. Doherty
Daniel V. Doherty, P.E.
New Jersey License No. 37070

KEY PLAN

SCALE

GRAPHIC SCALE



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2	01.02.07	DD	REV. PER ZONING BOARD RES.
1	10.02.06	DD	REV. PER PLANNING DEPT. COMMENTS

REVISIONS

DRAWN BY SLP
APPROVED BY DVD
CHECKED BY DVD
DATE 08.07.06

TITLE

LANDSCAPING PLAN

PROJECT NO. 4558

C-102

SHEET NO.

**PRELIMINARY & FINAL SITE PLAN
SITE
IMPROVEMENTS**

BLOCK 4402, LOT 8
Township of Pequannock
Morris County, New Jersey

SEAL

Daniel V. Doherty
Daniel V. Doherty, P.E.
New Jersey License No. 37070

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DRAWN BY	SLP
APPROVED BY	DVD
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TITLE

**CONSTRUCTION
DETAILS-1**

PROJECT NO. 4558

C-103

SHEET NO.

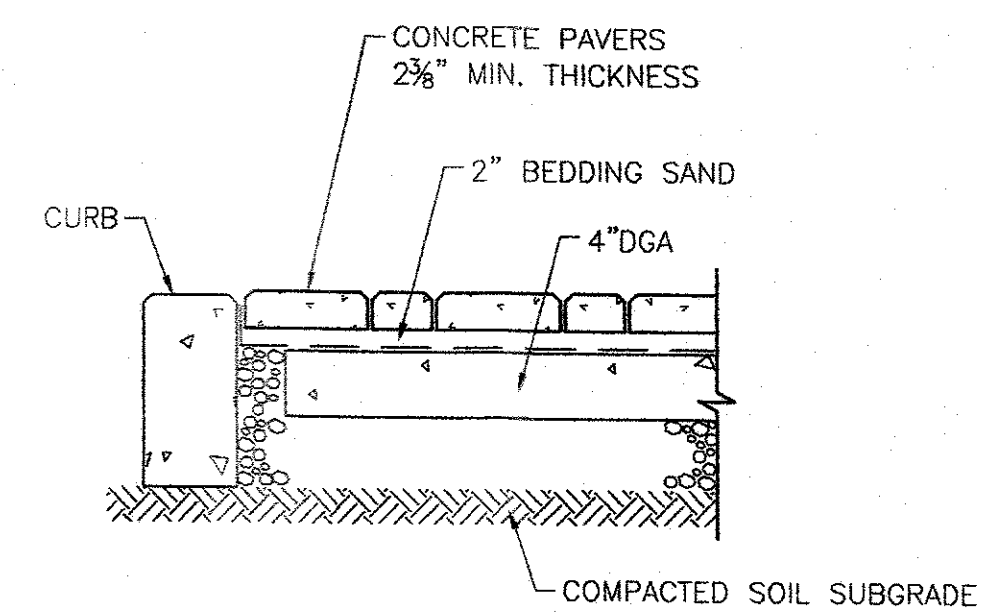
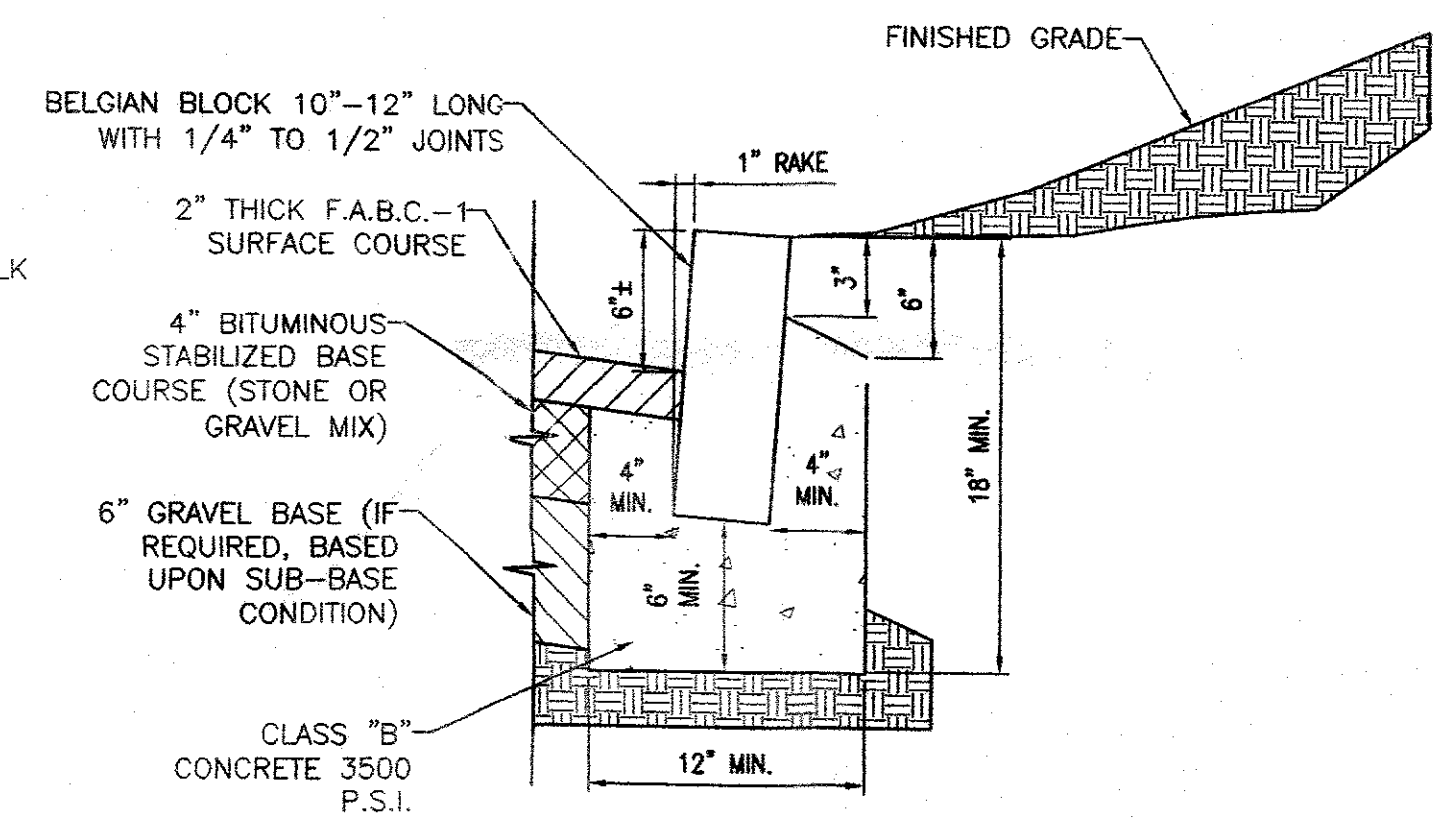
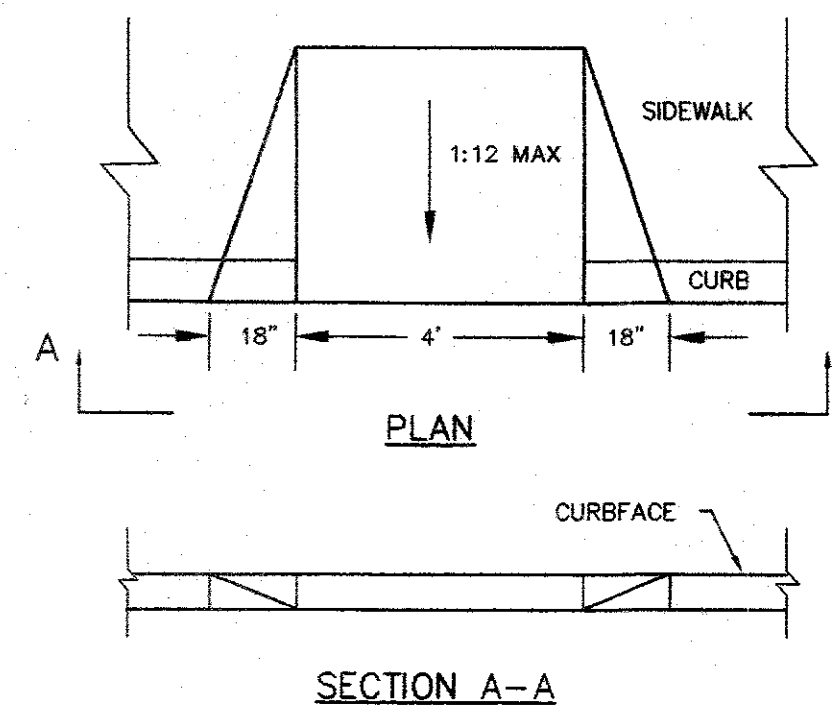
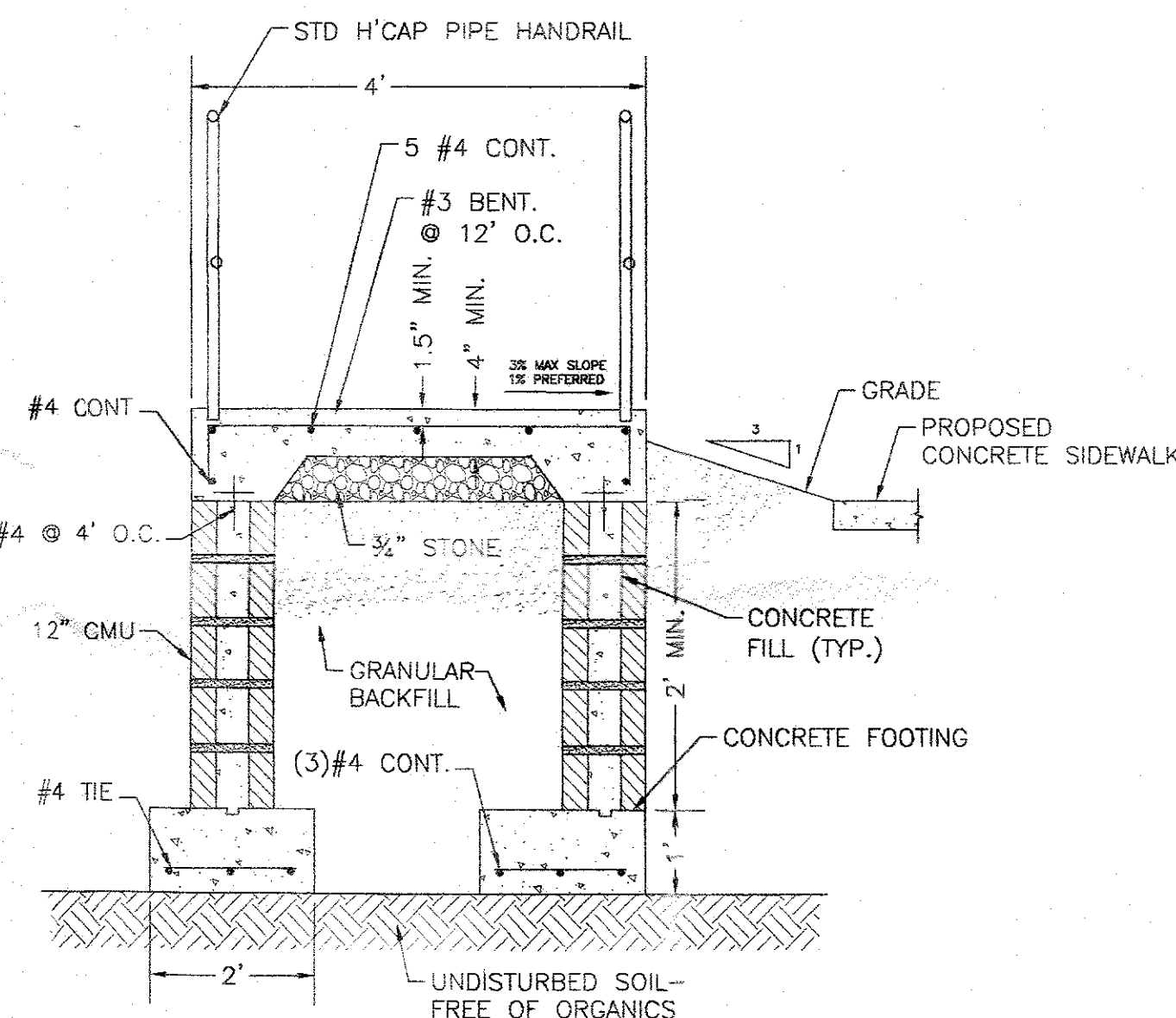
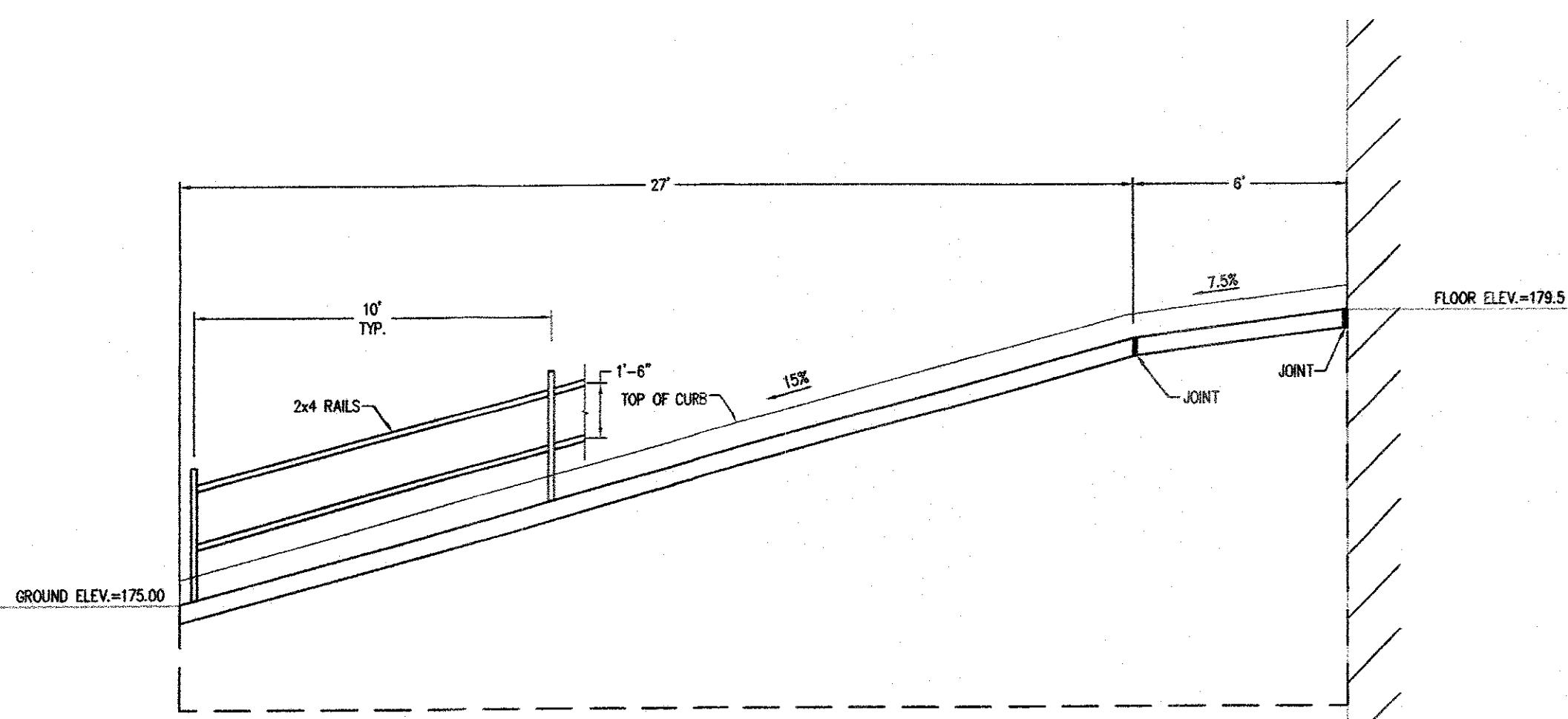
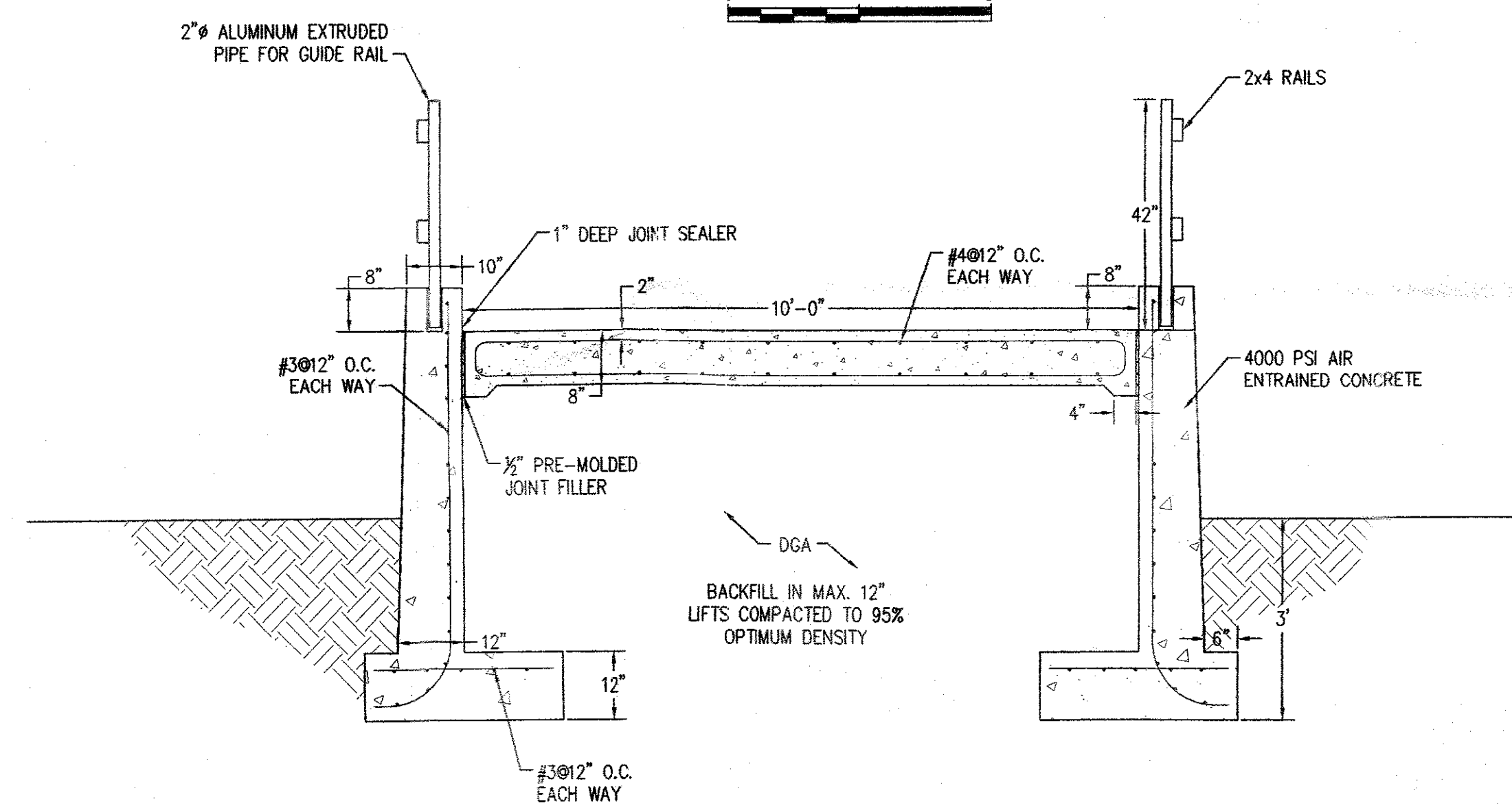
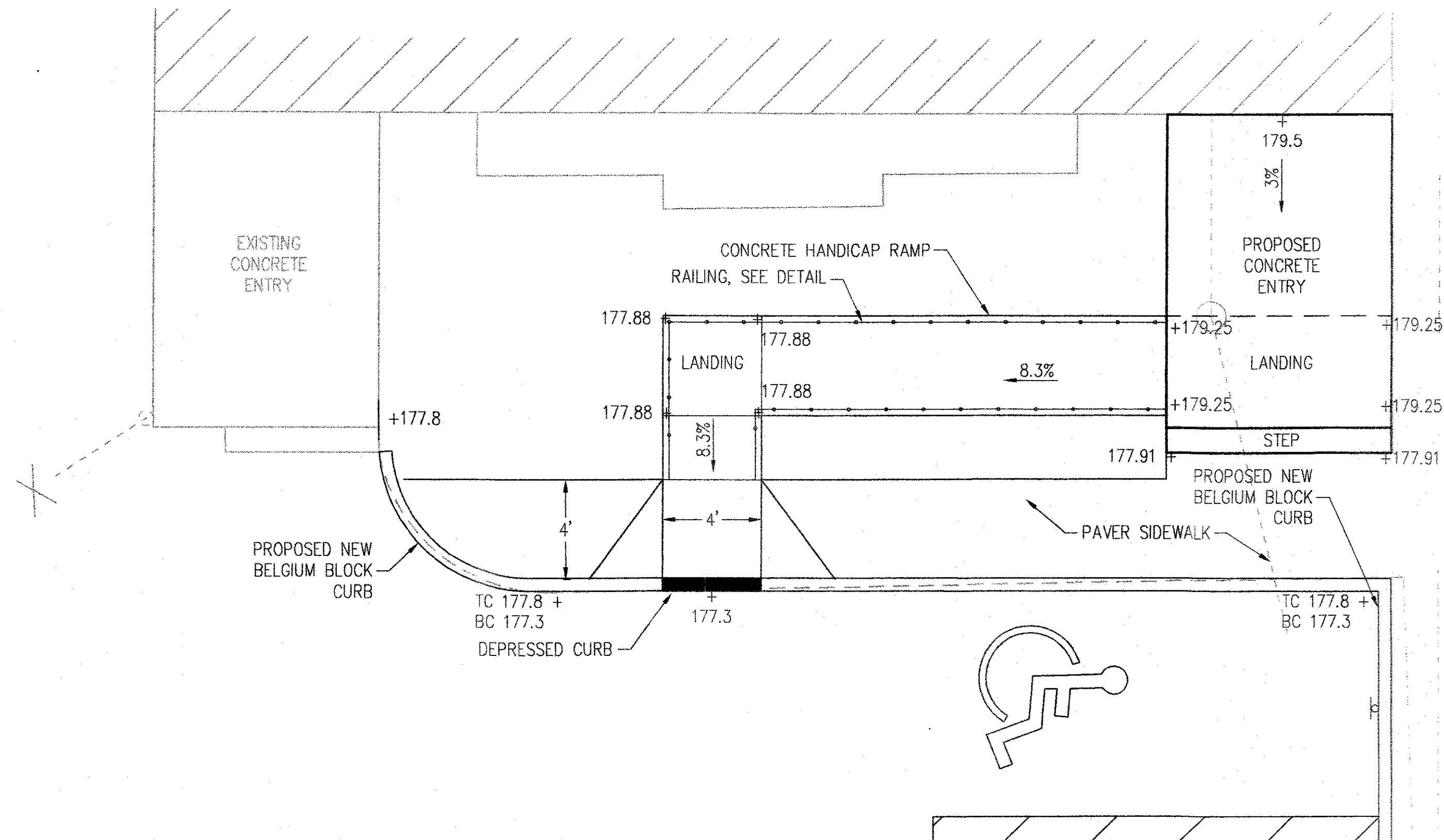
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SEAL

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New Jersey License No. 37070

KEY PLAN

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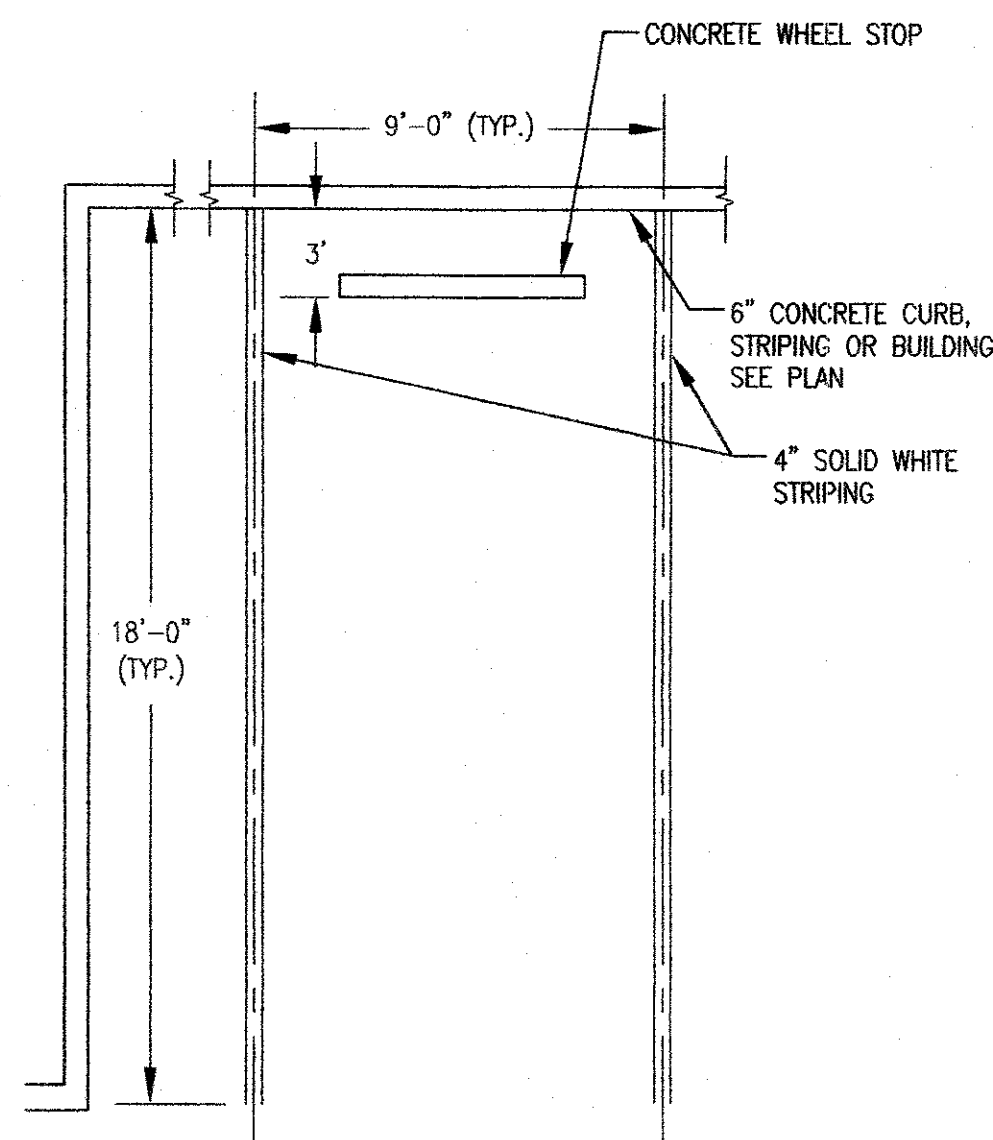
TITLE

**CONSTRUCTION
DETAILS-2**

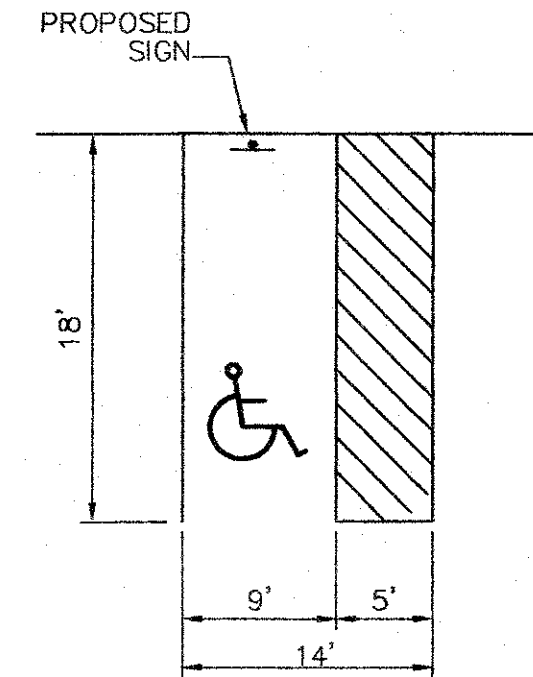
PROJECT NO. 4558

C-104

SHEET NO.

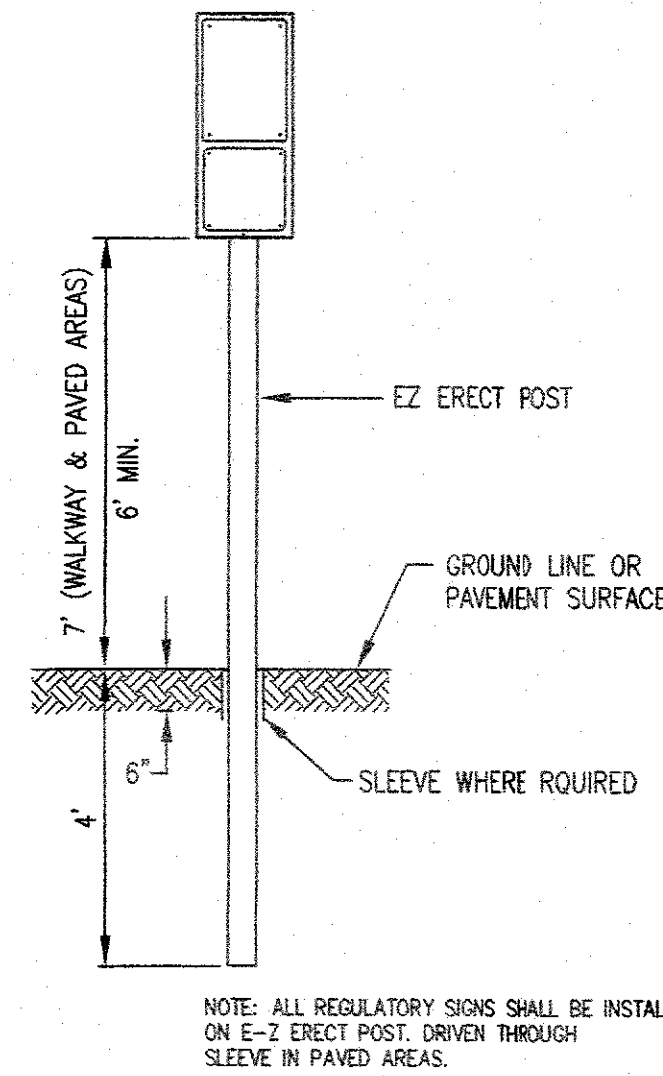


C7 TYPICAL PARKING STALL
N.T.S.



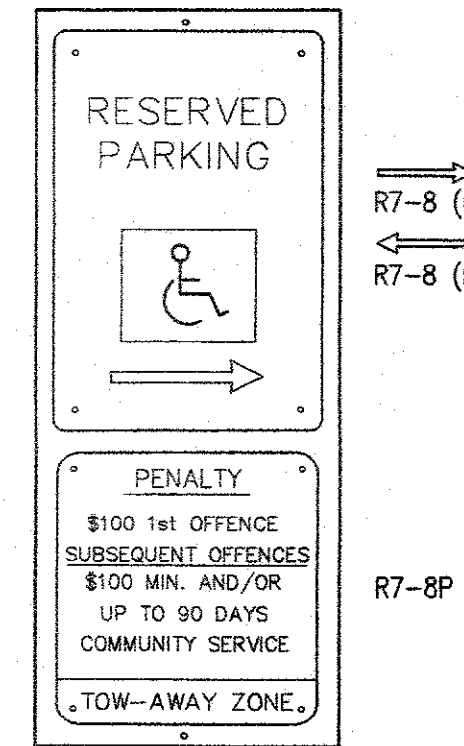
NOTE: PAVEMENT-MARKING PAINT SHALL BE LATEX, WATERBORNE EMULSION, LEAD AND CHROMATE FREE, READY MIXED, COMPLYING WITH FS TT-P-1952, WITH DRYING TIME OF LESS THAN 45 MINUTES.

C8 HANDICAPPED PARKING SPACE
N.T.S.

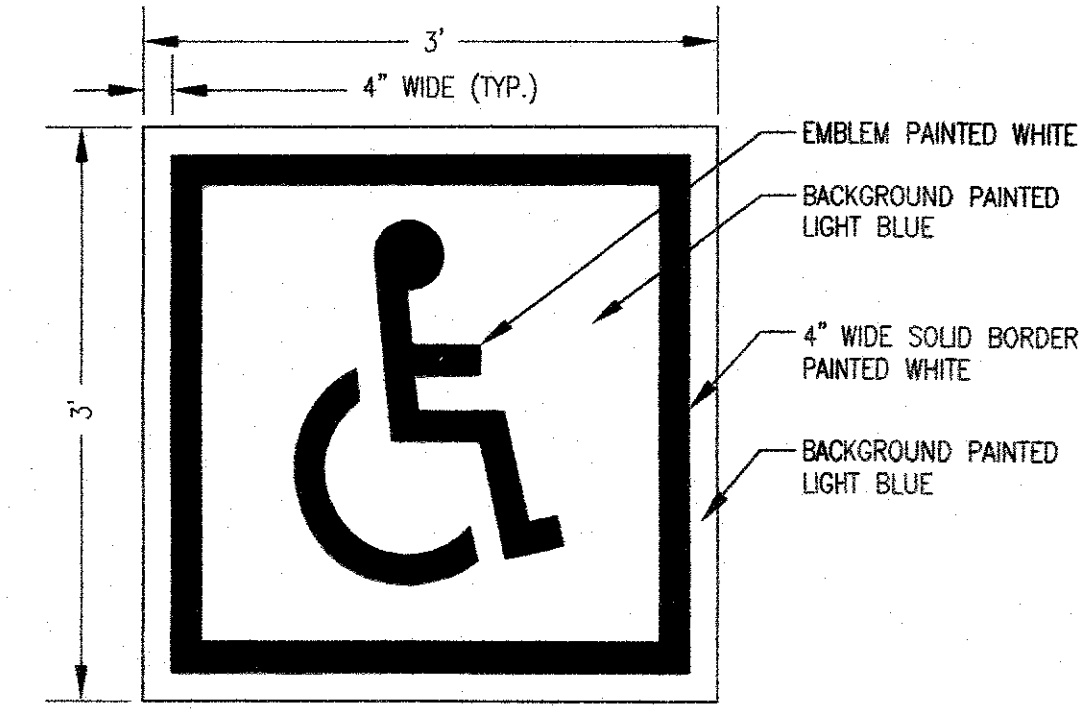


NOTE: ALL REGULATORY SIGNS SHALL BE INSTALLED ON E-Z ERECT POST, DRIVEN THROUGH SLEEVE IN PAVED AREAS.

C9 SIGNAGE
N.T.S.

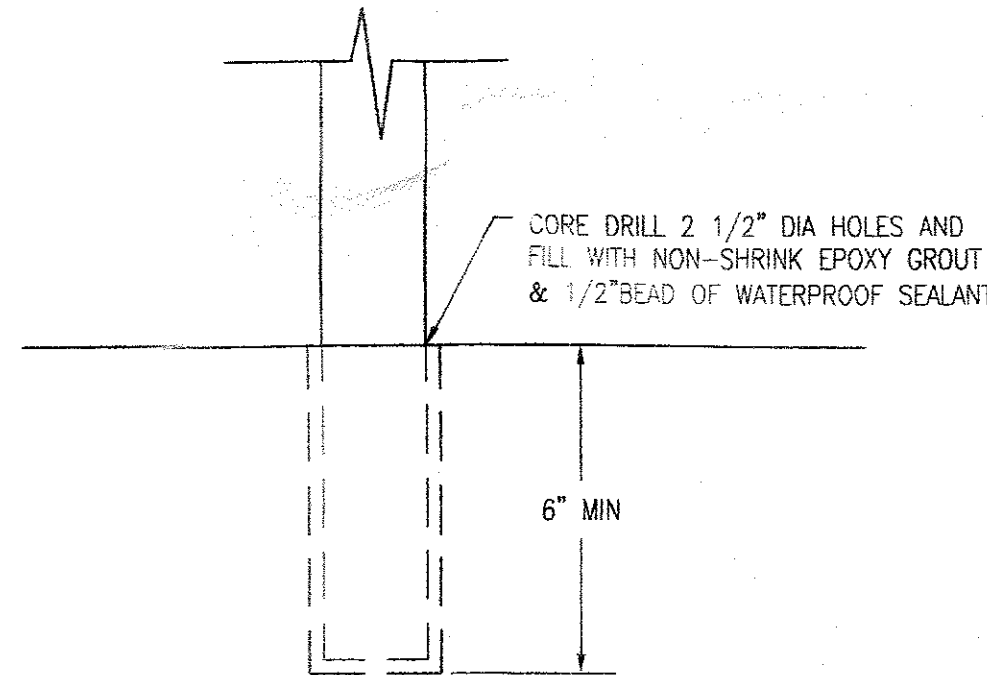


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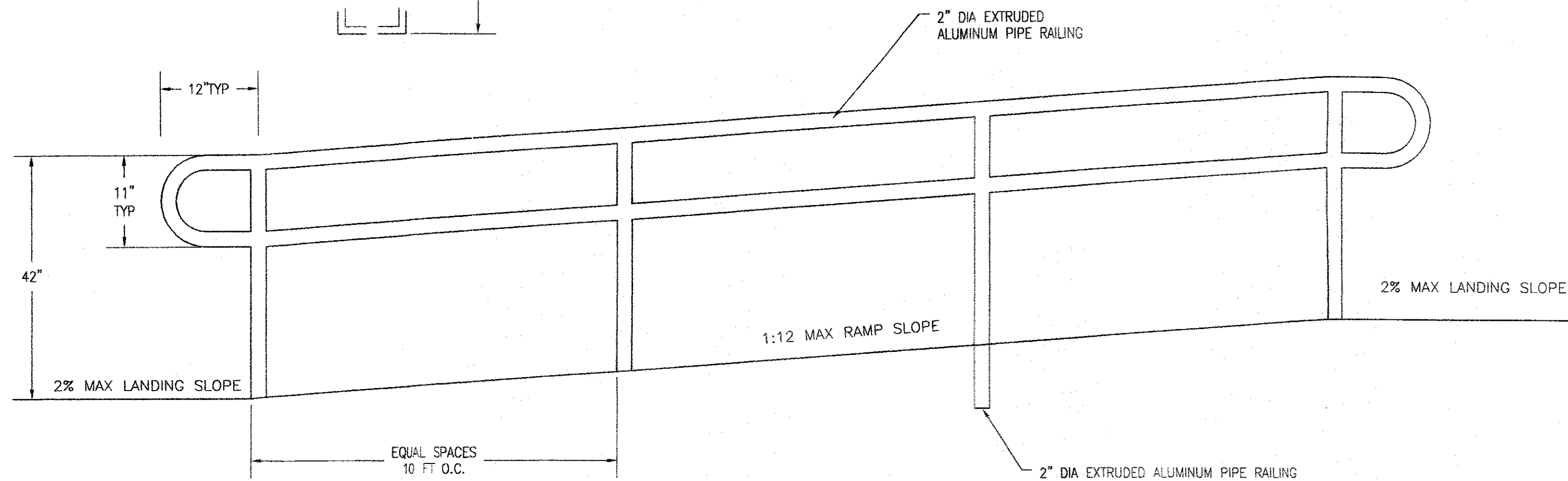


NOTES:
PAVEMENT STRIPING FOR ALL HANDICAP PARKING SPACES SHALL BE PAINTED LIGHT BLUE.
WHERE A HANDICAP PARKING SPACES MEETS A REGULAR PARKING SPACE, A LIGHT BLUE AND WHITE PAVEMENT STRIPE SHALL BE PAINTED SIDE BY SIDE.
PAVEMENT MARKING PAINT SHALL BE LATEX, WATERBORNE EMULSION, LEAD AND CHROMATE FREE, READY MIXED, COMPLYING WITH FS TT-P-1952, WITH DRYING TIME OF LESS THAN 45 MINUTES.
ALL PAVEMENT STRIPING AND MARKINGS SHALL BE COMPLETED IN ACCORDANCE WITH A.D.A. REQUIREMENTS.

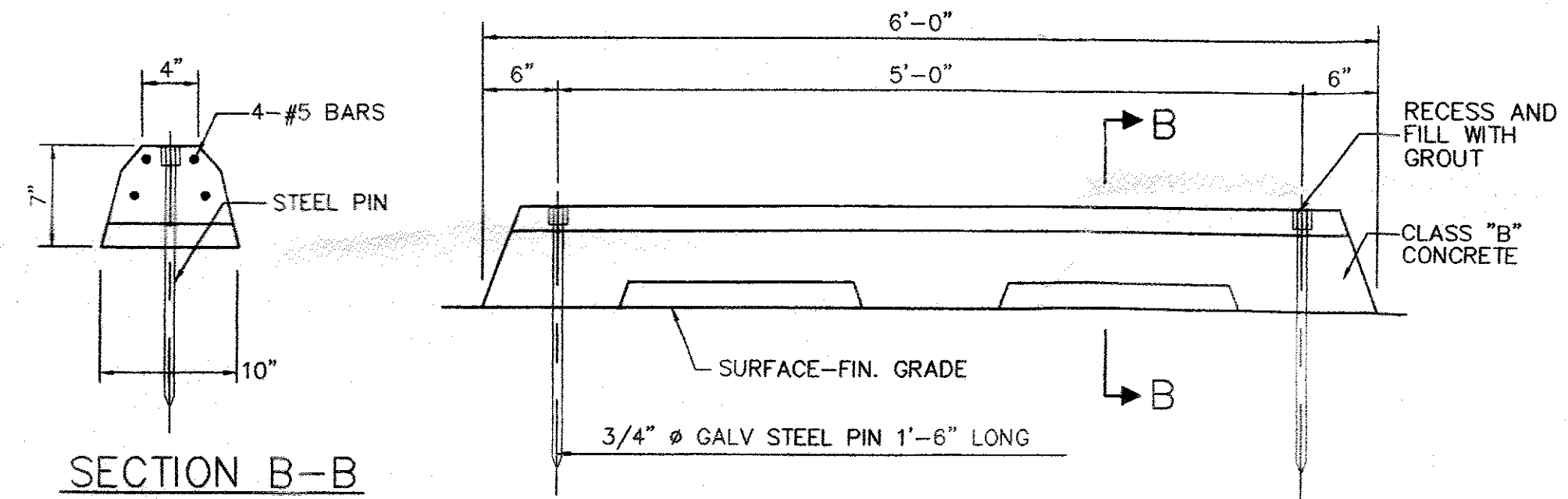
C10 HANDICAP PARKING SYMBOL
N.T.S.



SPECIFICATIONS:
1. MATERIAL- 1.25" OR 1.50" I.D. SCH. 40 ALUMINUM OR STEEL PIPE.
2. FINISH- NATURAL OR HARDCOAT BLACK ANODIZED OR SEMI GLOSS BLACK PAINTED
3. ALL WELDS SHALL BE GRIND SMOOTH
4. APPROVED MANUFACTURERS- LOCAL FABRICATION OR CRANE VEYOR CORP (818)442-1524
MODEL NO. C4300 OR MOULTRIE MFG. CO. (800)841-8674 WESRAIL SYSTEM

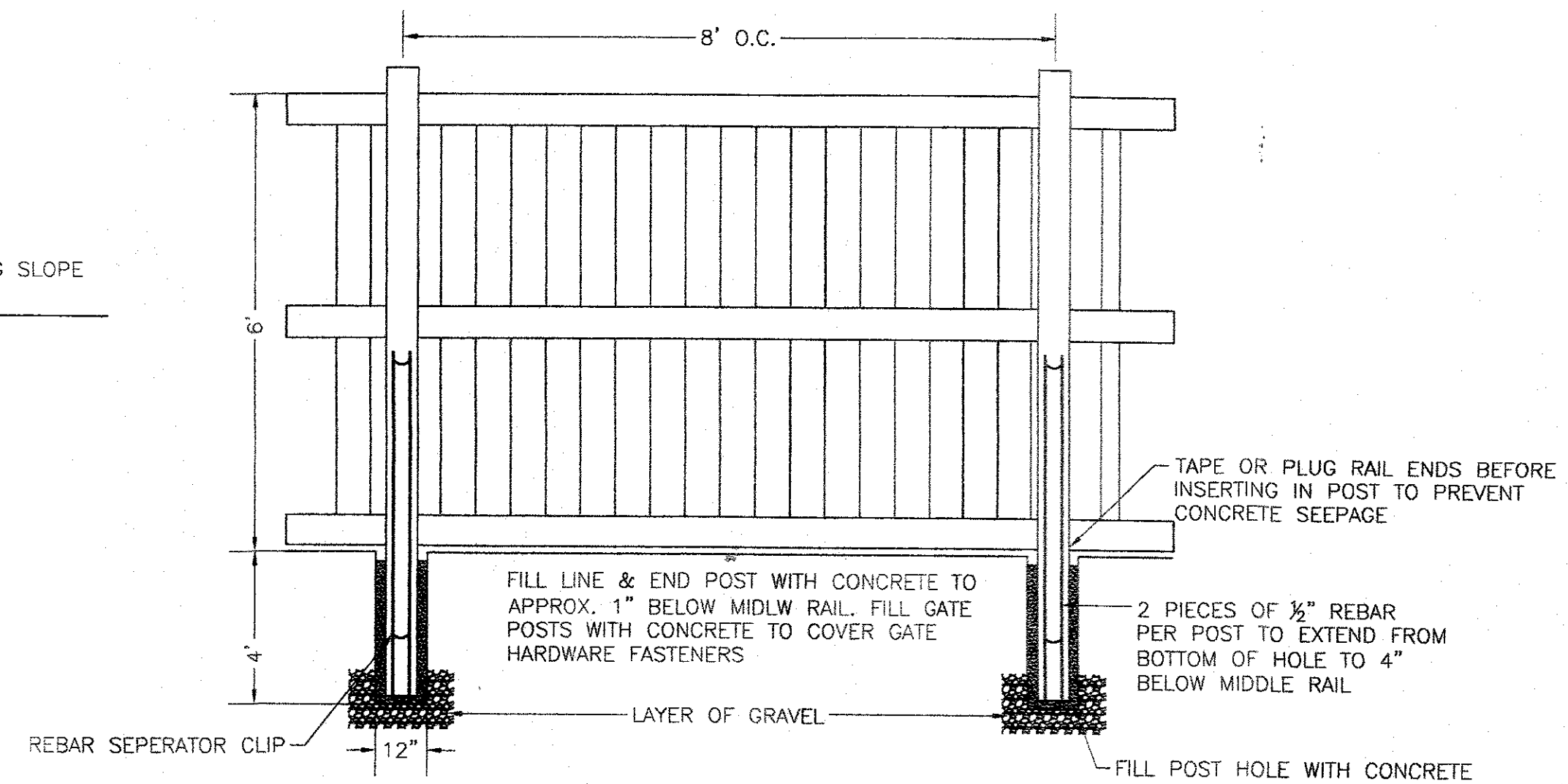


C11 HANDICAP RAMP WITH HANDRAIL
N.T.S.

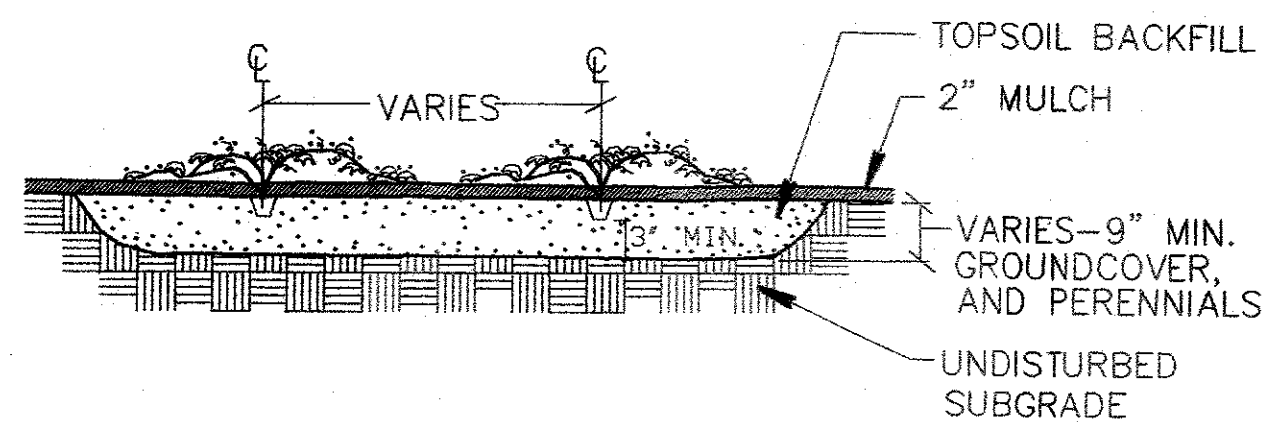


SECTION B-B

C12 PRECAST CONCRETE BUMPER
N.T.S.



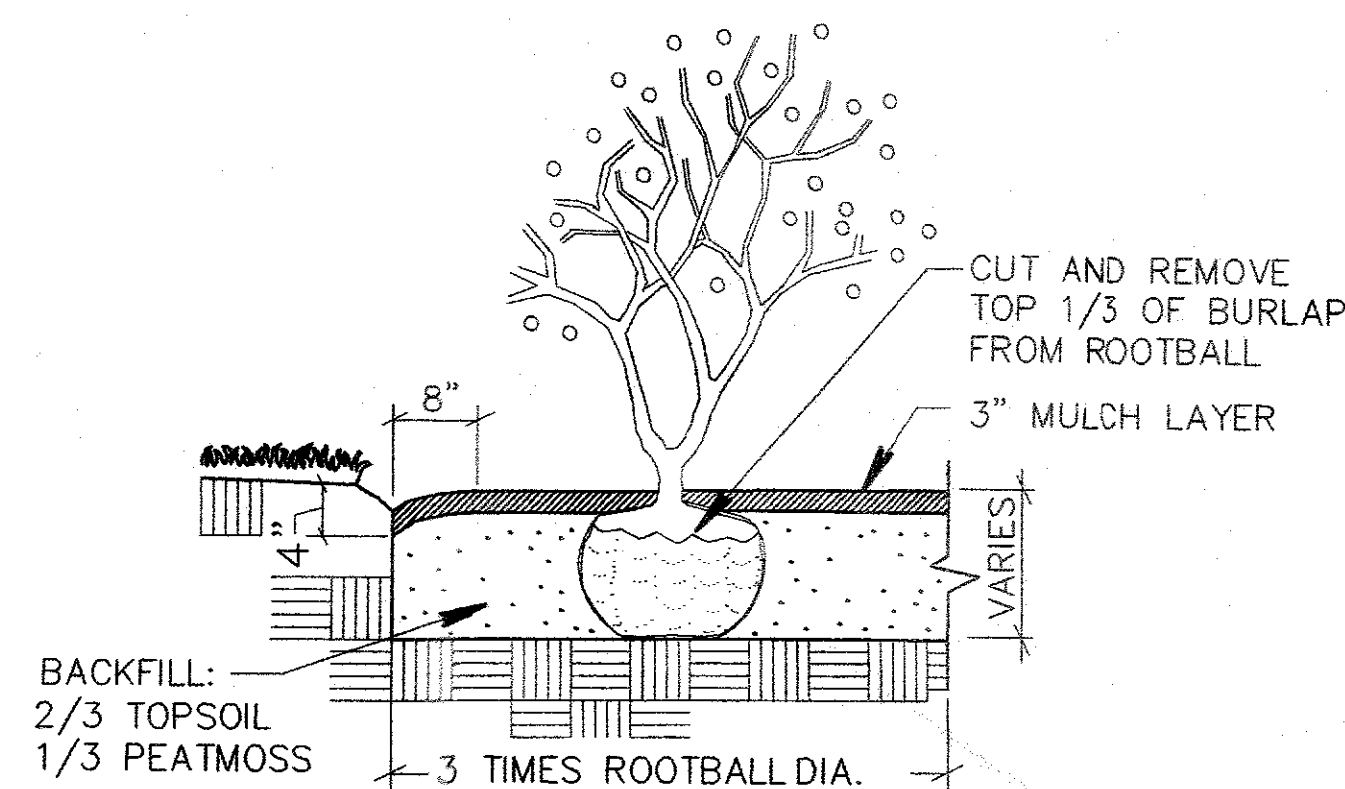
C13 PVC FENCE DETAIL
N.T.S.



NOTE: PLANTS ARE TO BE SPACED
EQUIDISTANT FROM EACH OTHER

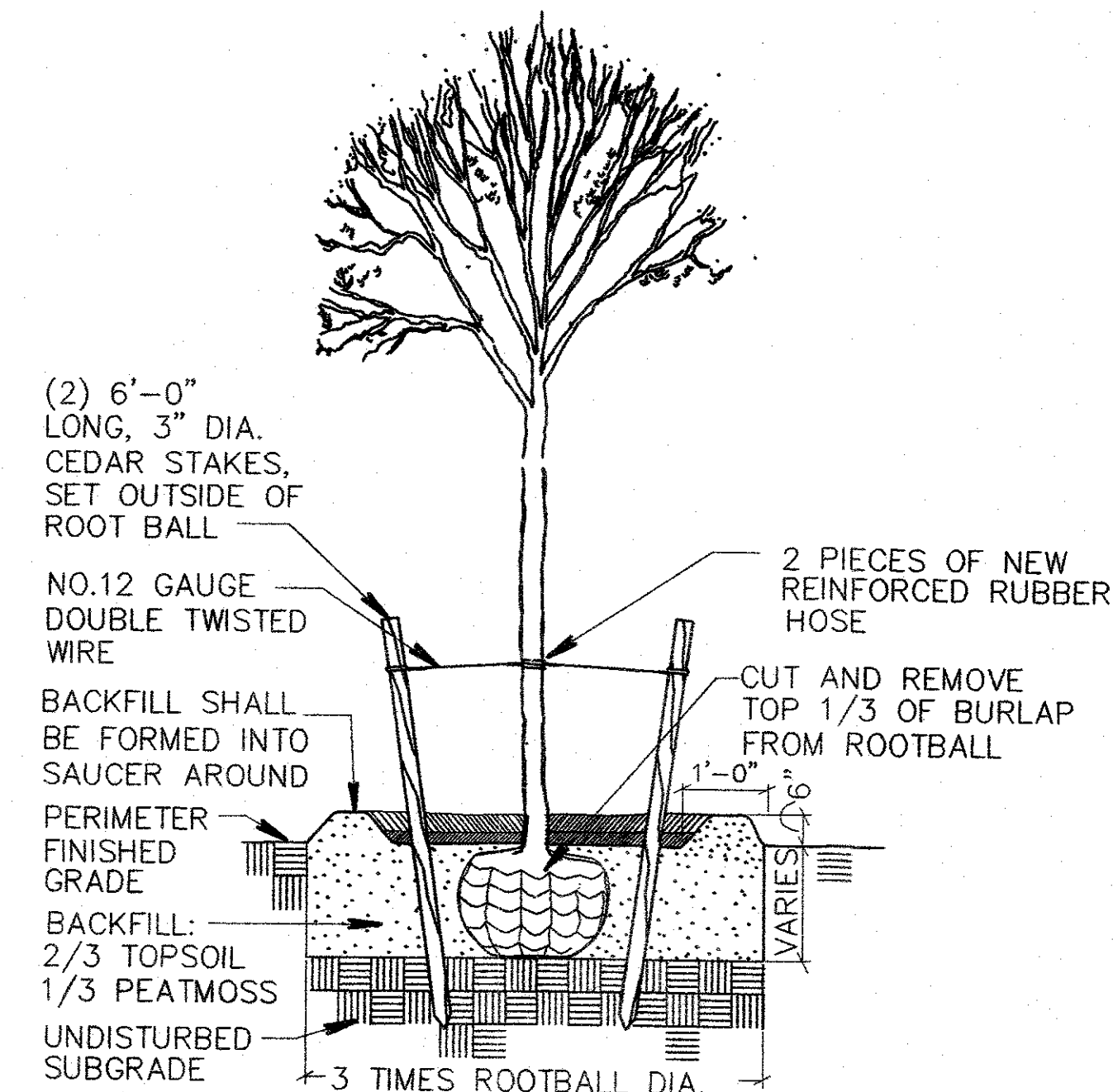
L1 GROUNDcover/PERENNIAL PLANTING DETAIL

N.T.S.



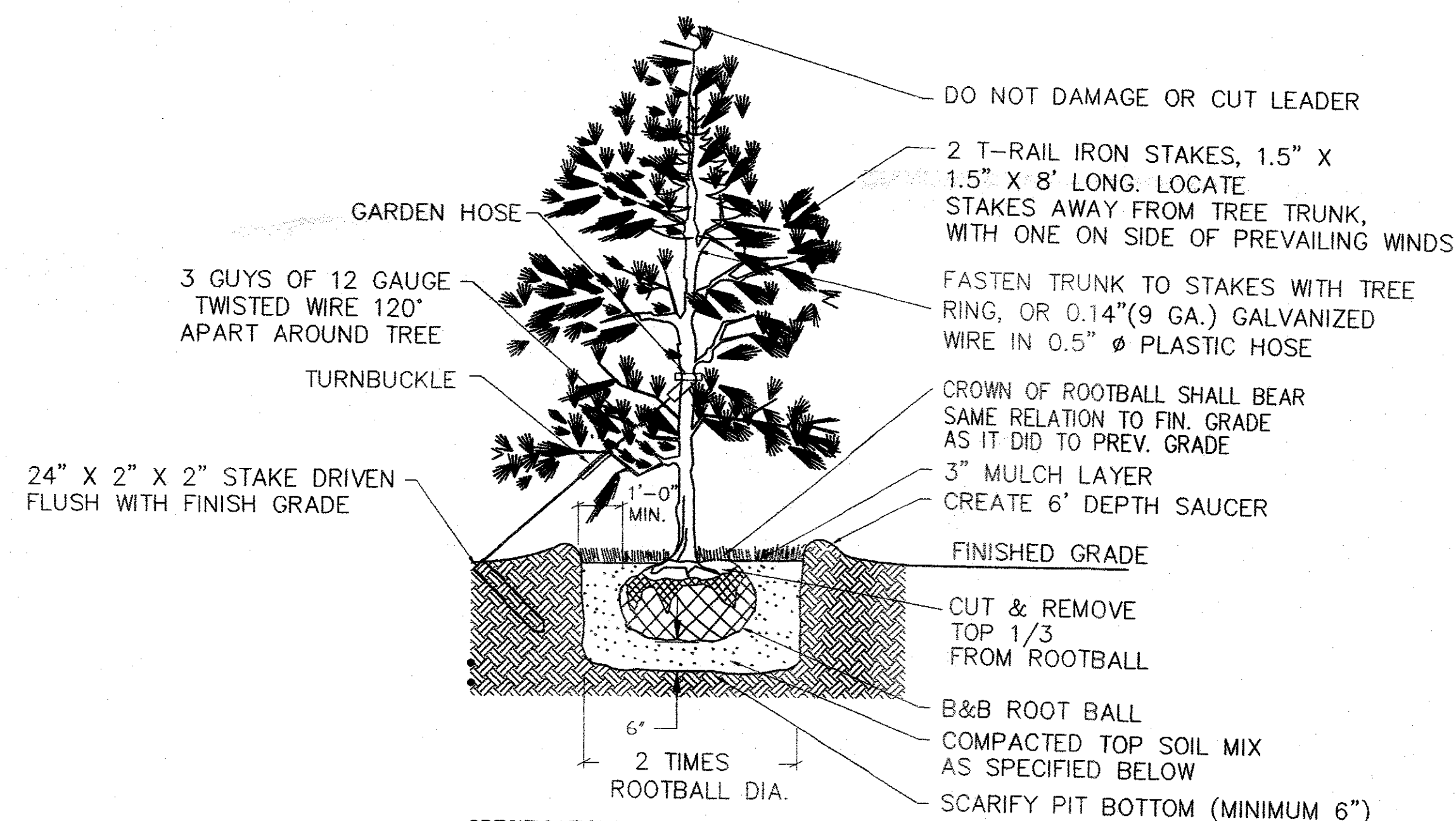
L3 ORNAMENTAL GRASS/SHRUB PLANTING DETAIL

N.T.S.



L2 ORNAMENTAL TREE PLANTING DETAIL

N.T.S.



- SPECIFICATIONS:**
- DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
 - WATER THOROUGHLY AFTER INSTALLATION.
 - REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATIONS
 - PROVIDED DRAINAGE FOR PLANTING PIT IN IMPERMEABLE SOIL.
 - TOPSOIL MIX, TO BE 2/3 TOPSOIL/NATIVE SOIL; 1/3 PEATMOSS

L4 CONIFEROUS TREE DETAIL

N.T.S.

No.	DATE	BY	Description
2	01.02.07	DD	REV. PER ZONING BOARD RES.
1	10.02.06	DD	REV. PER PLANNING DEPT. COMMENTS

DRAWN BY	SLP
APPROVED BY	DVD
CHECKED BY	DVD
DATE	08.07.06